



SKYLINE HEIGHTS



Skyline Heights by Matra Nibash

Skyline Heights is another prestigious residential project by Matra Nibash, located at one of the most prominent addresses — Plot 1846, Road 32/C, Block M, Bashundhara Residential Area.

The project enjoys a prime location, being adjacent to the 300 Feet Highway and a 4-lane road.

Nearby landmarks include: Bashundhara Central Mosque, North South University (NSU), Independent University, Bangladesh (IUB), Evercare Hospital, International School Dhaka (ISD), Aga Khan School, Vikarunnesa Noon School & College, Playpen English Medium School, Sunnydale School, Reverie School, Bashundhara Public School.

Like all our developments, Skyline Heights has been designed by renowned Bangladeshi architects in collaboration with British architects who bring extensive international experience and state-of-the-art design expertise. The building has been thoughtfully planned to be elegant, comfortable, earthquake-resistant, and safe.

A unique feature of this project is its emphasis on openness, ensuring ample natural light, air circulation, and open green spaces — creating the perfect setting for your dream home.

We cordially invite you to visit the site and go through our brochure to explore detailed information about the project.

Our reputation is built upon quality construction, on-time delivery, competitive pricing, and an unwavering commitment to customer satisfaction — values that have made us one of the most trusted and reputed developers in Bashundhara Residential Area.

You are most welcome to contact Matra Nibash for further details.

MATRA NIBASH

Office

House 8, Road 68/A
Gulshan 2

Land Area

5 Katha

Project Address

Bashundhara R/A
House # 1846
Road # 32/C, Block # M

Storied

09 (Nine)

Number of Apatment

08 (Eight)

Apartment Size

Type A-2200 sft

No of Car Parking

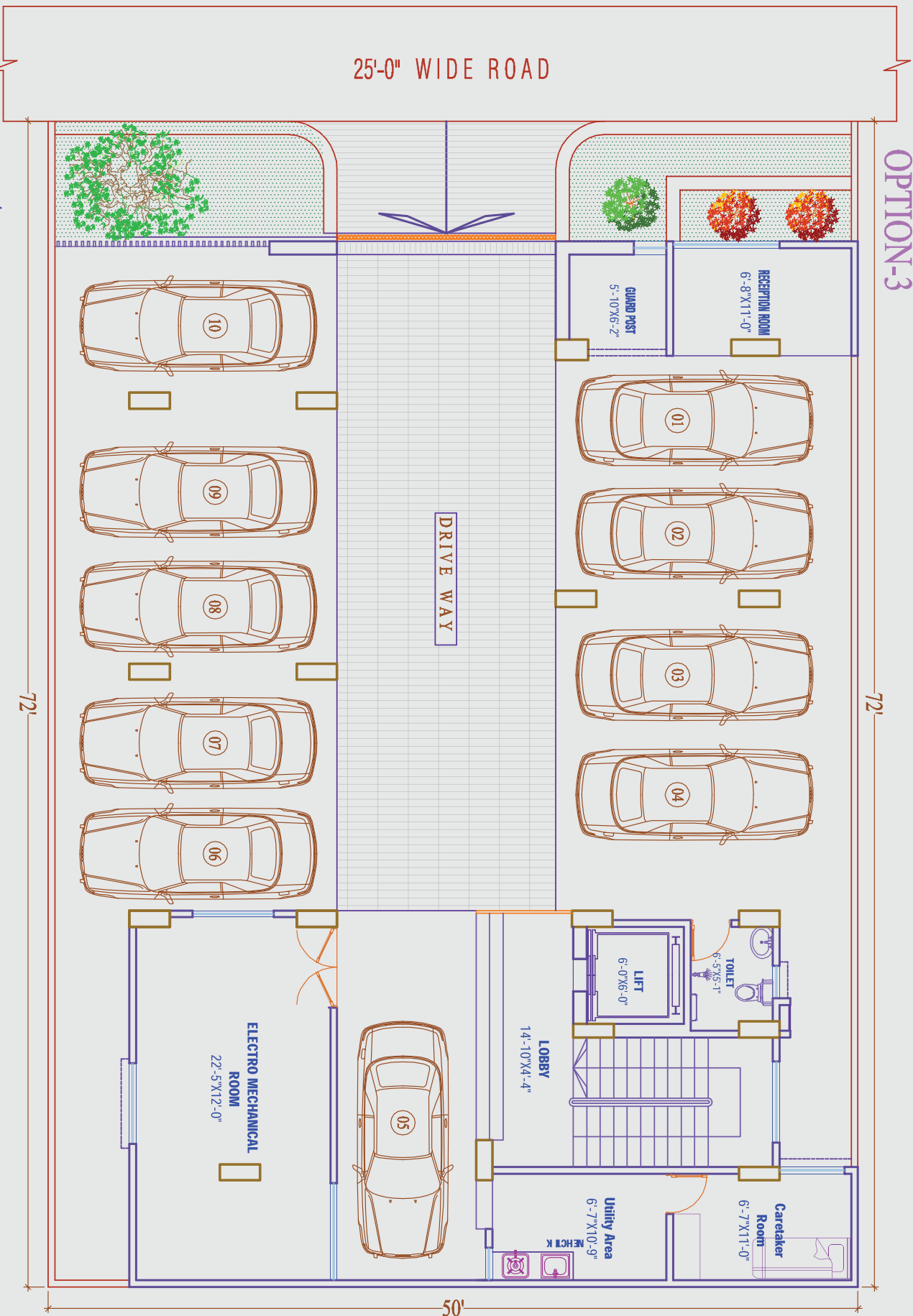
08 (Eight)

Hand Over

2027



OPTION-3



GROUND FLOOR PLAN.



STANDARD FEATURES

ENTRANCE

Project Name, address and developer name in a designed setting.

Guard room with adequate security control.

CAR PARK & DRIVEWAY

Wide driveway for easy turn of car.

Designed floor in combination of paved tiles.

Reserved car parks marked with numbers.

RECEPTION

Intercom for full function internal communication.

Personal mail box.

LIFT LOBBY & STAIRS

Floor finished with tiles in all flights.

Designed wooden/SS/steel hand-rail with post.

UNDER GROUND WATER RESERVOIR

Water-proof concrete under ground reservoir with capacity to store water for seven (07) days.

OTHER GROUND FLOOR FACILITIES

Drivers sitting area, Caretaker's room, Kitchen, Generator & Sub station room and common toilet.

Meeting / Community room and roof top with toilet.

ROOF TOP

3 inches thickness concrete casting with NCF.

Standard height designed parapet wall with rain water outlets.

Clothes drying line for each apartment.

RCC waterproof overhead water reservoir.

SERVICES (LIFT / ELEVATOR)

1 brand new imported latest technology (VVVF) 6 passenger capacity lift [Sigma, Deao (former LG-Otis) / equivalent] with manufacturers warranty.

Designed cabin interior and ground floor entry door.

GENERATOR

1 brand new imported 40 KVA [Perkins / Yanmar / Cummins / Duetz or Fast Class Standard] stand-by generator with residential Canopy System and manufacturer warranty.

Stand-by generator shall empower Lift, Water pump & Intercom, Security and common area .

ELECTRICAL SUPPLY

440 Volt (3 phase) main cable electric supply line from DESCO/DESA with distribution board panel and circuit breakers.

Best quality Transformer/Sub-station with LT & PFI panel.

All electrical works done in compliance with DESCO / DESA & by expert contractors.

INTERCOM & SECURITY SYATEM

Imported, brand new Intercom system connecting with all apartments to reception through concealed wiring. (Panasonic / Siemens or equivalent)

C.C Camera at ground floor entry gate & monitor will be set inside the flat to avoid unwanted entrance.

WATER PUMP

2 imported brand new pumps: 1 for full operation and 1 for stand by support. (Pedrollo / Saer or equivalent)

FIRE SAFETY

Fire extinguisher in each floor and Sub-station / Generator room.

WALLS

External and internal walls of solid 5"/10" (As required) brickwork with fine plaster.

TILES

1. 24"x24" Homogeneous mirror polish tiles in floor. (RAK/ X-Monika /Standard per sqft Tk. 120/-)

2. 12"x12" Homogeneous non sleepy tiles in toilet. (RAK/ X-Monika /Standard)

3. 10"x16" Ceramics wall tiles in kitchen & toilet wall. (RAK/ X-Monika /Standard per sqft Tk. 70/-)

WINDOWS

Sliding aluminum windows with 5mm glass, rubber channel, mohair lining and rain water protective seal (external windows).

19x5mm MS bar safety grill and provision for fly/mosquito proof netting in aluminum sections for all external windows

DOORS

Company standard solid decorative wooden main entrance door (Tick Symbol/ Chittagong Segun) with door lock, door chain, designed apartment number sign, calling bell switch & check viewer.

All other door frames of solid wood (teakchambal/ Meheguni etc.) and door shutters of veneer flush door (Partex or equivalent) with round mortise lock finished with French polish.

TOILET

RAK standard commode & cabinet basin (dining area) with marble top per pc Tk. 15000/- master bath.

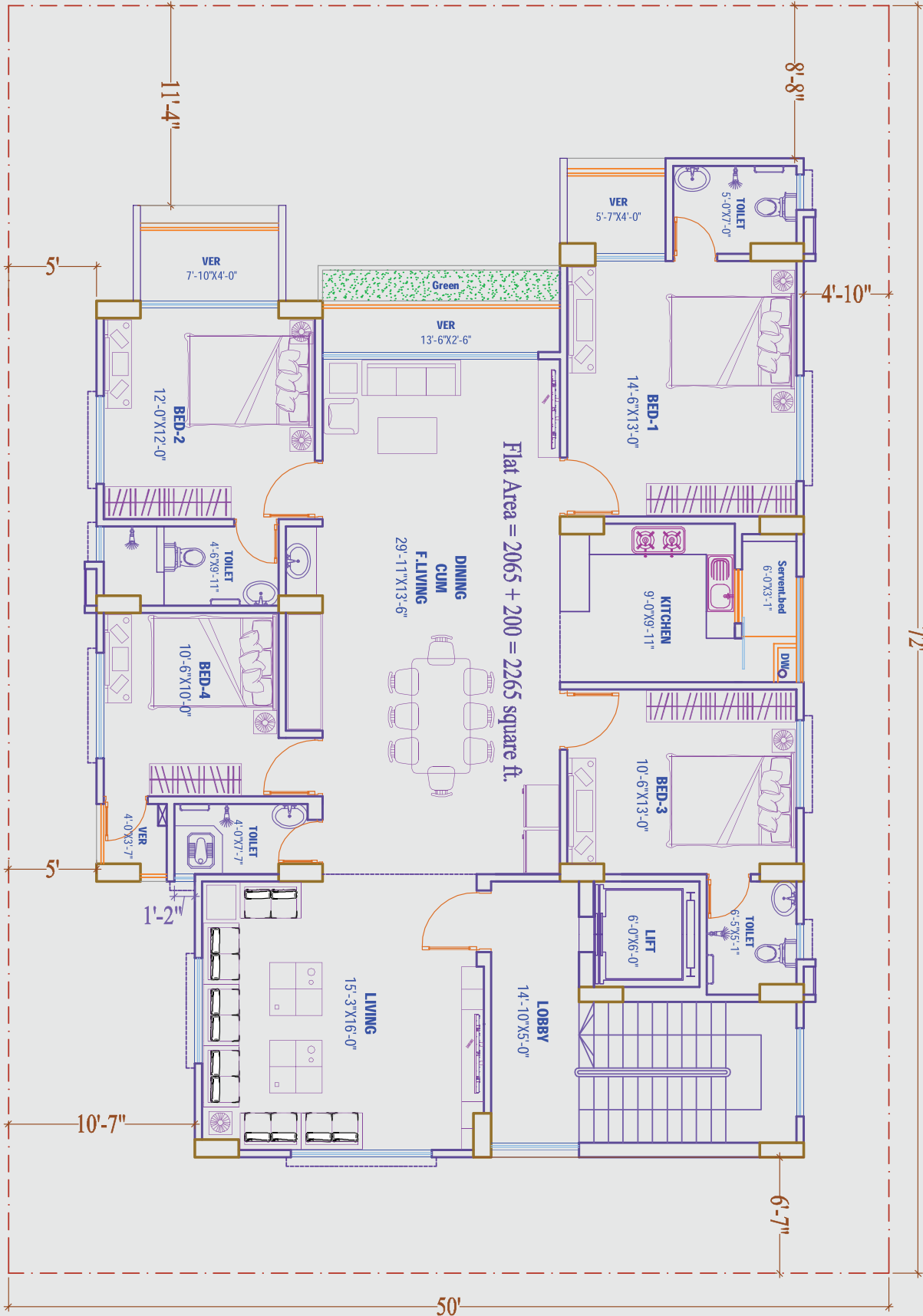
RAK commode & pedestal basin and shower enclosure with mixer in second toilet .



TYPICAL FLOOR PLAN.

25'-0" WIDE ROAD

OPTION-3



1ST TO 9TH FLOOR PLAN.



RAK standard ceramic tiles with border & décor in walls up to false ceiling & matching tiles in floors of all toilets.> Nazma/ Satter fittings and bath accessories set in all toilets except maid's.

Exhaust fan in kitchen & Master toilet.

Hot & cold water line in all toilets and kitchen except common toilet.

Mirror in all toilets with over head lamp points.

KITCHEN

Suitably placed RCC counter with tiles worktop.

RAK or X-Monika homogeneous floor tile with matching ceramic wall tiles.

1 imported stainless steel sink with mixer and drain board.

1 double burner gas outlet point ready for connection.

Concealed hot water line at kitchen sink.

1 exhaust fan suitably located near burner.

Wash down sink in kitchen verandah with tile finish.

Provision and Plug point for installing Kitchen Hood and Micro Oven.

PAINT

Plastic paint in all internal walls and distempored ceilings in soft colors (Berger, Jotun or equivalent).

Weather coat paint in external walls (Berger, Jotun or equivalent).

ELECTRICAL

Standard concealed wiring in PVC conduits for light, fan hook & point, socket plug point etc.

Individual electric meters and distribution board with a main circuit breaker in all apartments.

Imported switches & sockets in all rooms. (MK or equivalent)

Quality local wires (BRB/SQ Fire Proof/ Paradise or equivalent).

Imported circuit breakers in distribution boxes. (Legrand, ABB or equivalent).

Provision for split air-conditioners in Master bedrooms and living room.

Provision for 1 TV, Dish Line in each apartment.

UTILITY LINES

Individual apartment-wise meter for Electricity and Gas supply.

Common meters for Water supply and Sewerage connection.

STRUCTURAL & ENGINEERING FEATURES

> Sub-soil investigation and soil composition shall be tested using latest equipment.

> The design of foundation and super structure shall be conducted by highly experienced structural and foundation engineers.

> Structure capable of withstanding earthquakes measuring as per BNBC. All the design parameters related to structural design will be based on the BNBC, American Standard of testing Materials (ASTM) and American Concrete Institute (ACI) codes.

> Best quality stone/Brick (As per structural design) shall be used for preparing the chips before casting of foundation, column, beam, slab, stair, lintel, etc.

> 72.5 W (BSRM/AKS or equivalent) Deformed steel bar shall be used in all RCC components of the building.

> Sylhet and local sand of FM 2.5 & 1.2 (or as per design) respectively shall be used with equal proportion (As per Design).

> First class bricks shall be used in interior & exterior walls.

> Best quality cement (Bashundhara/Holcim/Cemex or equivalent) shall be used in casting, Bricks works, Plaster Work etc.













Terms and Condition,

APPLICATION:

Application for allotment of the apartment should be made in the company's prescribed form duly filled by the applicant whatsoever along with booking money. The company has the right to accept or reject any application without assigning any reason.

PAYMENT:

The purchaser will make the payment as per the payment schedule mentioned in the purchase agreement. All payments should be made in the form of a Bank draft /Pay-order/ cheque in favour of MatraNibash. The purchaser is liable to pay a delay charge of 3% per month on the default amount. If the payment is delayed beyond 2 (two) months, MatraNibash, has the right to cancel the allotment. In case of cancellation or surrender of allotment of the apartment, an incidental charge refund of the deposited amount will be made after deducting of 10% or one lac taka, whatsoever will be the lowest as an incidental charge.

RIGHTS OF MATRANIBASH:

The company has the right to accept or reject any application for allotment. It also reserves the right to make changes in both the architectural and structural design of the project if necessary. In the event of unavoidable circumstances, the developer reserves the right to make a limited change in the specification, design and layout of the apartment, In the highly unlikely event of a dramatic price increase of the construction materials which would be beyond our control as happened during the first quarter, it will be the joint responsibility of the developer and client to mutually resolve the issue of additional cost that may put the project in a difficult scenario.

PROJECT HAND OVER:

The possession of each apartment shall be handed over to the allottee/purchaser after full payment of installment and on completion of the apartment. The completion of the project may be affected by unavoidable circumstances beyond the control of the company like natural calamities, political disturbance, strikes, acts of God and changes in Govt, policy, etc In such case, the allottee/purchaser shall not demand any compensation.

TOTAL COST OF FLAT:

The total cost of the flat includes

- (a) Cost of apartment.
- (b) Utilities connection Charge/fees like water, sewerage and electricity etc.
- (c) Parking facility.

TRANSFER OF OWNERSHIP:

The apartment along with a proportionate share of land will be registered in favour of each allottee/purchaser as per current rules & regulations of the Government of Bangladesh. If the allottee wants to change the owner during registration of the flat, a sum of Taka 1,00,000/- (One Lac) is to be deposited to MatraNibash as a transfer fee.

REGISTRATION COST:

The buyer will pay stamp duties, registration fees, taxes, legal govt charge will be incurred in connection with the registration of the flat.

OWNER'S ASSOCIATION:

The buyer must undertake to become a member of the owner's association which will be formed by the owners of the apartments with the view to maintain the general affairs of the complex for the common interest. Each apartment owner must initially deposit Tk. 50,000/- to the company's account for the formation of owner's association before registration of the flat. The company will transfer the whole deposited amount along with accounts of expenditure to the owner's association.

LEGAL AGREEMENT:

The buyer and the developer will have to sign a formal legal agreement mentioning the terms & conditions in detail many of which have not been covered here.

DISCLAIMER

All measurements given in the layouts are approximate. During construction, the measurement may vary.

All fitting, fixtures and furnishing displayed on the layout are considered as an artist impression.

All decorative tiles will be considered as optional items.

The perspective view shown on the brochure is considered as artist impression, after completion it may differ.

